

Article 10: Architectural Standards

Section 10.01 Purpose

The purpose of architectural standards is to ensure the exterior of new construction and additions to existing buildings are well designed, detailed, and crafted to embody high standards of architectural design and to ensure the long-term viability of commercial and industrial structures in the township.

Section 10.02 Applicability

The following standards shall apply to all development in the development in nonresidential districts and to development in the MUPD and PIPD districts.

Section 10.03 Authority to Review

For the purposes of this section, the Zoning Administrator shall be authorized to review and make decisions on architectural standards as provided for in Section 519.171 of the Ohio Revised Code.

Section 10.04 Architectural Standards

(A) **ORNAMENTATION**

All visible elevations shall include decorative features such as cornices, pilasters, and friezes. Building recesses and protrusions are strongly encouraged on larger buildings to break long uninterrupted building walls. See [Figure 10.04-1](#).



Figure 10.04-1: The buildings in the above images contain pilasters, cornices, and a series of façade setbacks (recesses) to visually break up the appearance of large facades.

(B) FAÇADE MASSING

(1) Offset Required

Front façades 60 feet wide or wider shall incorporate wall offsets of at least two feet in depth (projections or recesses) a minimum of every 40 feet. Each required offset shall have a minimum width of 20 feet. See [Figure 10.04-2](#).

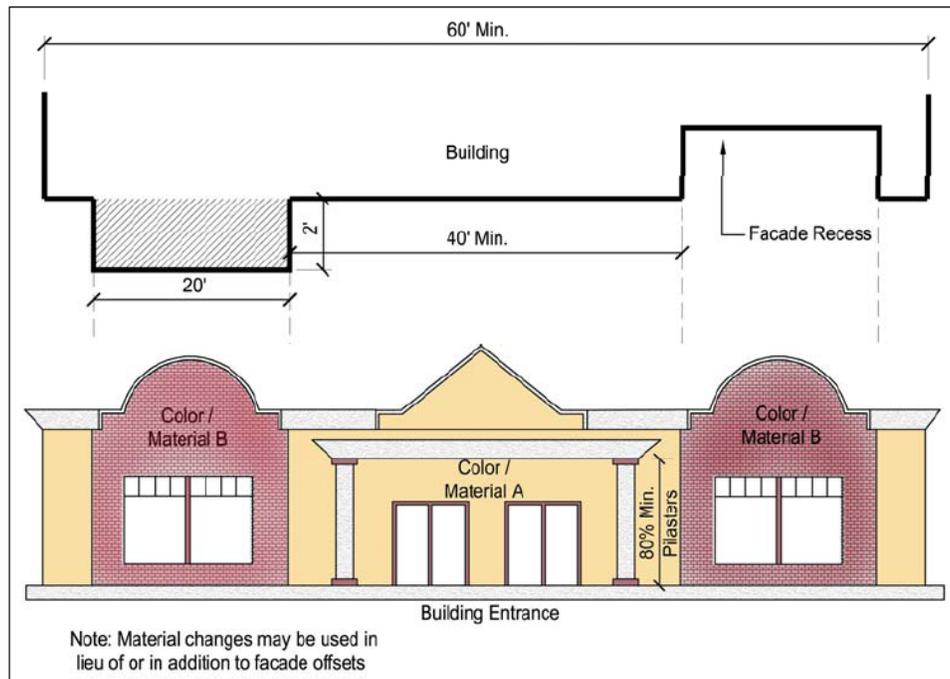


Figure 10.04-2: Illustration of how the façade offset provisions may be applied.

(2) Offset Alternatives

The following alternatives can be used in place of the required front façade offsets:

- a) Façade color changes following the same dimensional standards as the offset requirements;
- b) Pilasters having a minimum depth of one foot, a minimum width of one foot, and a minimum height of 80 percent of the façade's height; and/or
- c) Roofline changes when coupled with correspondingly aligned façade material changes.

(3) Roof Line Changes

- a) Roofline changes shall include changes in roof planes or changes in the top of a parapet wall, such as extending the top of pilasters above the top of the parapet wall.
- b) When roofline changes are included on a façade that incorporates wall offsets or material or color changes, roof line changes shall be vertically aligned with the corresponding wall offset or material or color changes. See [Figure 10.04-3](#).



Figure 10.04-3: Illustration of roofline changes along a long façade wall.

(C) Roofs

(1) Flat Roofs

When flat roofs are used, parapet walls with three-dimensional cornice treatments shall conceal them. The cornice shall include a perpendicular projection a minimum of eight inches from the parapet façade plane. See [Figure 10.04-4](#).

Figure 10.04-4: The image on the left illustrates the use of parapet walls to screen mechanical equipment. Tall, thin parapets such as the one shown in the image on the right should be avoided to prevent the appearance of false walls.

(2) Asymmetric or Dynamic Roofs

Asymmetric or dynamic roof forms allude to motion, provide variety and flexibility in nonresidential building design, and allow for unique buildings. Asymmetric or dynamic roof forms shall be permitted on nonresidential buildings as an alternative to [Section 10.04\(C\)\(1\): Flat Roofs](#). See [Figure 10.04-5](#) for an example of a building with a dynamic roof form.

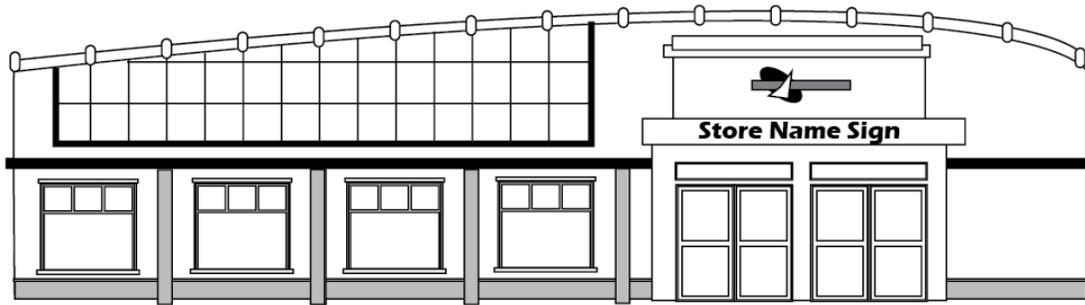


Figure 10.04-5: An example of a dynamic roof line.

(3) Roof Penetrations and Equipment

All roof-based mechanical equipment, as well as vents, pipes, antennas, satellite dishes, and other roof penetrations (with the exception of chimneys), shall be located on the rear elevations or screened with a parapet wall having a three-dimensional cornice treatment so as to have a minimal visual impact as seen from:

- a) Public streets;
- b) Existing single family uses;
- c) Vacant land zoned for agricultural or residential; and
- d) RPDs.

(D) CUSTOMER ENTRANCES

(1) Required Entrances

Each side of a building facing a public street shall include at least one customer entrance, except that no building shall be required to provide entrances on more than two sides of the structure that face public streets.

(2) Entrance Design

Buildings shall have clearly defined, highly visible customer entrances that include no less than three of the following design features (See [Figure 10.04-6](#)):

- a) Canopies/porticos above the entrance;
- b) Roof overhangs above the entrance;
- c) Entry recesses/projections;
- d) Arcades that are physically integrated with the entrance;
- e) Raised corniced parapets above the entrance;
- f) Gabled roof forms or arches above the entrance;
- g) Outdoor plaza adjacent to the entrance having seating and a minimum depth of 20 feet;
- h) Display windows that are directly adjacent to the entrance;

- i) Architectural details, such as tile work and moldings, that are integrated into the building structure and design and are above and/or directly adjacent to the entrance; or
- j) Integral planters or wing walls that incorporate landscaped areas or seating areas. A wing wall is a wall secondary in scale projecting from a primary wall and not having a roof.

Figure 10.04-6: This large retail center utilized several different design features to articulate the individual facade and customer entrances.

Section 10.05 Enforcement of Standards

Through the adoption of this zoning resolution, the Board of Trustees grant the Zoning Administrator the authority to review and enforce the provisions of this section during the review of a zoning certificate application.